

RANCHO MURIETA NORTH DESIGN GUIDELINES

SEPTEMBER 30, 2014



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CHAPTER 1

INTRODUCTION

CHAPTER 1 - INTRODUCTION

1.1 GENERAL OVERVIEW

While much of Rancho Murieta is built, these Design Guidelines are intended to help further the character, vision and quality of the new communities in Rancho Murieta North. They are a guide for the County, Rancho Murieta North Home Owner's Association (RMN), developers, designers, and the public as they work together to develop a truly special place with strong identity and diversity in an already established community. The Design Guidelines provide a planning and design framework to be used as appropriate, based on the type of proposed building or improvement, its location, and specific site conditions.

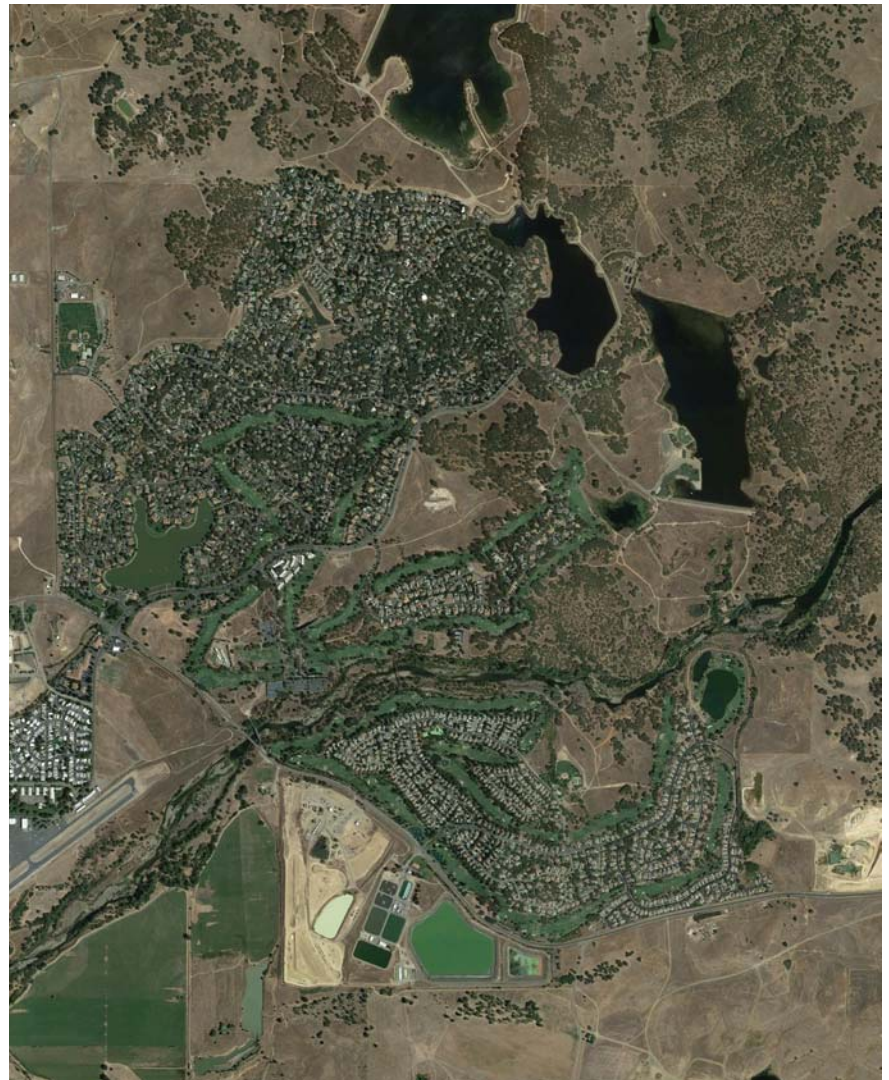
Continued development of Rancho Murieta North is guided by the development standards contained in this document. All development within Rancho Murieta North shall be reviewed for consistency with this document. Any deviation from these Design Guidelines shall be subject to review by the RMN governing board, and may be approved provided it meets the general intent of these Design Guidelines.

1.2 DOCUMENT ORGANIZATION

The Design Guidelines are organized into 5 descriptive chapters, each addressing different elements within the community. Chapter 2 addresses development standards which will guide residential lot siting, massing, scale, etc.; Chapter 3 addresses architectural character and how the residences will physically look that set this community apart from others; Chapter 4 discusses the landscape character including landscape, circulation and community monumentation and finally, Chapter 5 describes how to implement the elements within the aforementioned chapters.

1.3 LOCATION

Rancho Murieta is located approximately 25 miles due east of downtown Sacramento along Route 16. The site is located adjacent to the Rancho Murieta Country Club and has astounding views of the golf course as well as Lakes Chesbro, Clementia, Calero and Jean. One of the most beautiful features of the community is its vast array of Heritage Oak trees; many of the homes will be located within these oak groves.

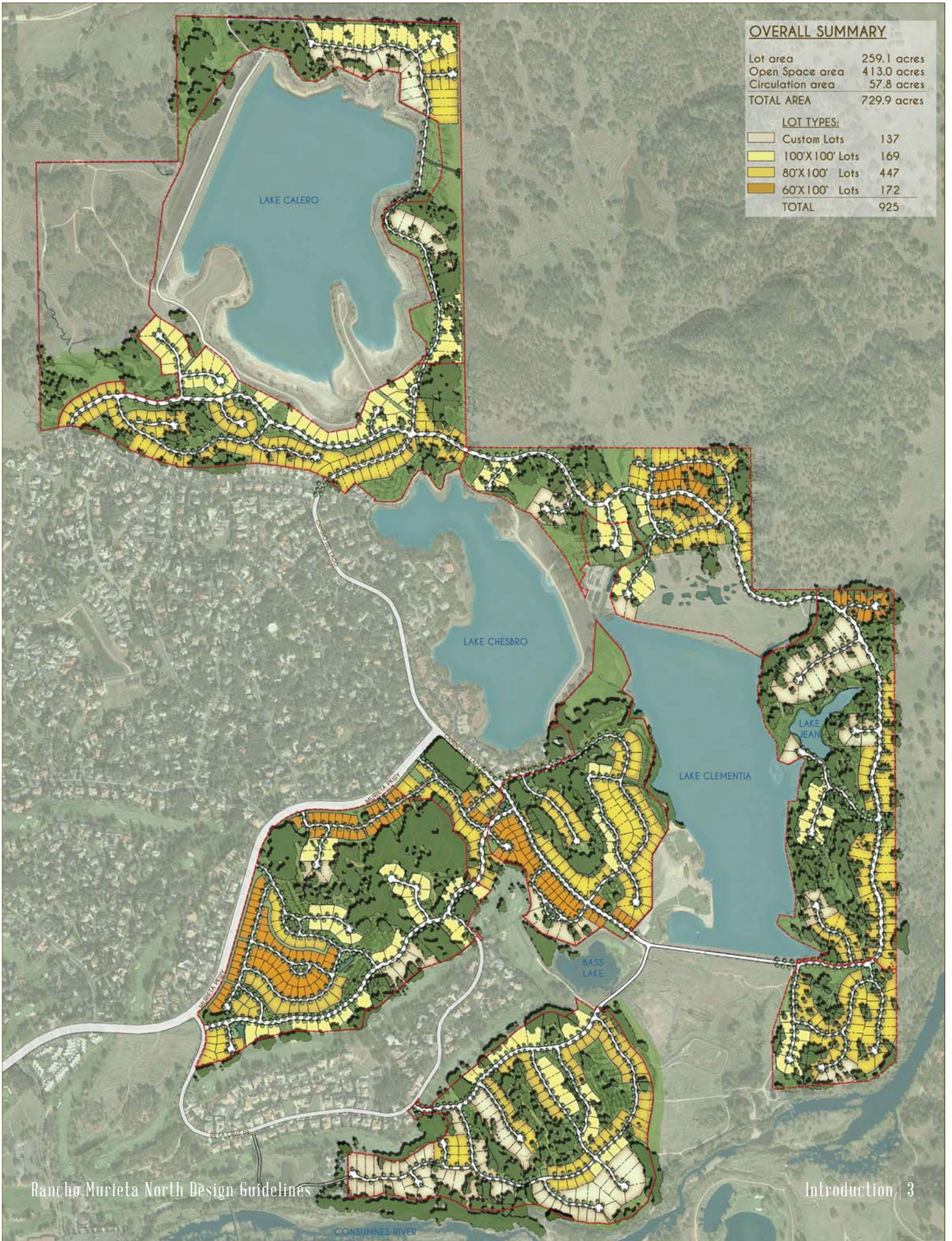


1.4 COMMUNITY VISION

The Design Guidelines will steer the development of Rancho Murieta North towards a truly memorable community; a livable place where housing and recreation opportunities are truly integrated.

Key components of this vision include pedestrian and bicycle friendly streets, public and private recreational open space opportunities and an integration of new residences that blend seamlessly with the existing Rancho Murieta Development. With the current community establishing a wonderful framework, distinctive architecture and landscape elements for new development continues to build upon a tradition of unique identity that is Rancho Murieta North.

The following artist's Conceptual Illustrative Plan presents the Design Guideline vision within the site context. Precise street alignments, lot locations, lot dimensions, and building type and locations shall be determined at the time of development proposals to implement these Design Guidelines. Such alignments and locations will be substantially consistent with the goals and policies of these Design Guidelines.



OVERALL SUMMARY

Lot area	259.1 acres
Open Space area	413.0 acres
Circulation area	57.8 acres
TOTAL AREA	729.9 acres

LOT TYPES:

Custom Lots	137
100'X100' Lots	169
80'X100' Lots	447
60'X100' Lots	172
TOTAL	925

CHAPTER 2

DEVELOPMENT STANDARDS

CHAPTER 2 - DEVELOPMENT STANDARDS

2.1 INTRODUCTION

This section of the Design Guidelines lists the development standards for all of the residential uses permitted in the community. Development standards help to decipher how each home can be sited on each lot and includes items such as front yard setbacks, side yard setbacks and building heights. These standards are based on existing standards in the community and expanded where necessary.

Some standards and guidelines for the community are more restrictive to help integrate development with this specific project area and shall supersede any existing standards or guidelines where there is a conflict.

2.2 RESIDENTIAL HOUSING TYPES

There are several types of residential housing types allowed within Rancho Murieta North including, but not limited to the following:

STANDARD LOTS

- Clusters: 70' x 70' Buildable Pad
- Bungalows: 60' x 100' lots
- Country Manors: 80' x 100' lots
- Estates: 100' x 100' Lots

CUSTOM LOTS

- Semi-Custom Home Lots (Custom I)
- Custom Home Lots (Custom II)
- Mini-Ranchettes (Custom III)

The development standards and guidelines for each lot type are on the following pages.

BUNGALOWS

The Bungalows are on 60' x 100' lots, a traditional lot size commonly found in the Sacramento region. This lot size allows for unique floor plans in a great range of square footages as well as varying back yard sizes to complement the homes.

Bungalow Development Standards

Lot Area, Width, Depth & Coverage	
Lot Area Min.	6,000 S.F.
Width Min. at Front Setback	60' - 0"
Width Min. at Front Setback Corner Lot	65' - 0"
Depth Min.	85' - 0"
Building Coverage ³ (2 story residence)	45% or 2700 S.F. (whichever is smaller)
Building Coverage ³ (Single-story residence)	50% or 3000 S.F. (whichever is smaller)
Setbacks (from Property Line)	
Front	20' - 0" Min.
Interior Side	5' - 0" Min.
Side at Corner	10' - 0" Min.
Rear	20' - 0" Min.
Porches	5' Max. Encroachment allowed into required front, corner, or rear setback
Encroachments ¹	2' Max. Encroachment allowed into required setback
Height ²	
Building Max.	32' - 0"
Maximum Stories	2 Above grade at entry.
Permitted Density (Maximum Per Lot)	
Allowable Units Per Lot	1 Primary Dwelling Unit
Allowable Accessory Structures	1 Detached Garage per lot 1 Casita per lot

1. Encroachments may include window bays, chimneys, furred columns or walls, A/C units and other architectural projections. A min. of 3' clear passage must be maintained for emergency responders.
2. Building height is measured from finished grade at entry to the top of the ridge/parapet.
3. Building coverage includes livable square footage, accessory structures, covered patios and any architectural enhancements.

COUNTRY MANORS

The Country Manors are on generously sized 80' x 100' lots where prospective homeowners can start to see unique features within the homes such as 3-car garages and casitas.

Country Manor Development Standards

Lot Area, Width, Depth & Coverage

Lot Area Min.	8,000 S.F.
Width Min. at Front Setback	80' - 0"
Width Min. at Front Setback Corner Lot	85' - 0"
Depth Min.	85' - 0"
Building Coverage ³ (2 story residence)	45% or 3600 S.F. (whichever is smaller)
Building Coverage ³ (Single-story residence)	50% or 4000 S.F. (whichever is smaller)

Setbacks (from Property Line)

Front	20' - 0" Min.
Interior Side Aggregate	15' - 0" (5' - 0" Min.)
Side at Corner	10' - 0" Min.
Rear	20' - 0" Min.
Porches	5' Max. Encroachment allowed into required front, corner, or rear side yard setbacks
Encroachments ¹	2' Max. Encroachment allowed into required setback

Height ²

Building Max.	32' - 0"
Maximum Stories	2 Above grade at entry

Permitted Density (Maximum Per Lot)

Allowable Units Per Lot	1 Primary Dwelling Unit
Allowable Accessory Structures	1 Detached Garage per lot 1 Casita per lot

1. Encroachments may include window bays, chimneys, furred columns or walls, A/C units and other architectural projections. A min. of 3' clear passage must be maintained for emergency responders.
2. Building height is measured from finished grade at entry to the top of the ridge/parapet.
3. Building coverage includes livable square footage, accessory structures, covered patios and any architectural enhancements.

ESTATES

The Estates, on 100' x 100' lots, are the largest of the conventional lot sizes within Rancho Murieta North. These homes offer flexibility in home design and landscape features.

Estates Development Standards

Lot Area, Width, Depth & Coverage

Lot Area Min.	10,000 S.F.
Width Min. at Front Setback	80' - 0"
Width Min. at Front Setback Corner Lot	105' - 0"
Depth Min.	85' - 0"
Building Coverage ³ (2 story residence)	45% or 4500 S.F. (whichever is smaller)
Building Coverage ³ (Single-story residence)	50% or 5000 S.F. (whichever is smaller)

Setbacks (from Property Line)

Front	20' - 0" Min.
Interior Side Aggregate	15' - 0" (5' - 0" Min.)
Side at Corner	10' - 0" Min.
Rear	20' - 0" Min.
Porches	5' Max. Encroachment allowed into required front, corner, or rear side yard setbacks
Encroachments ¹	2' Max. Encroachment allowed into required setback
Accessory Structures	5' - 0" Min.

Height²

Building Max.	32' - 0"
Maximum Stories	2 Above grade at entry

Permitted Density (Maximum Per Lot)

Allowable Units Per Lot	1 Primary Dwelling Unit
Allowable Accessory Structures	1 Detached Garage per lot 1 Casita per lot

1. Encroachments may include window bays, chimneys, furred columns or walls, A/C units and other architectural projections. A min. of 3' clear passage must be maintained for emergency responders.
2. Building height is measured from finished grade at entry to the top of the ridge/parapet.
3. Building coverage includes livable square footage, accessory structures, covered patios and any architectural enhancements.

CLUSTERS

The Cluster Homes are unique in that they consist of a 70' x 70' buildable pad set within land owned by a homeowners association.

Cluster Development Standards

Buildable Area, Width, Depth & Coverage

Buildable Area Min.	4,900 S.F.
Width Min.	70' - 0"
Depth Min.	70' - 0"
Building Coverage ³ (2 story residence)	Up to 100% Allowable
Building Coverage ³ (Single-story residence)	Up to 100% Allowable

Building Area Setbacks (from Property Line or Right of Way)

Front	15' - 0" Min.
Garage Front	20' - 0" Min.
Interior Side Aggregate	10' - 0" Min. from building to building
Side at Corner	10' - 0" Min.
Rear	10' - 0" Min.
Accessory Structures	5' - 0" Min. to PL (must be within buildable area or within 10' H.O.A easement at rear of buildable pad).

Height ²

Building Max.	32' - 0"
Maximum Stories	2 Above grade at entry

Permitted Density (Maximum Per Buildable Pad)

Allowable Units Per Lot	1 Primary Dwelling Unit
Allowable Accessory Structures	1 Detached Garage per lot 1 Casita per lot

1. Encroachments may include window bays, chimneys, furred columns or walls, A/C units and other architectural projections. A min. of 3' clear passage must be maintained for emergency responders.
2. Building height is measured from finished grade at entry to the top of the ridge/parapet.
3. Building coverage includes livable square footage, accessory structures, covered and uncovered patios and any architectural enhancements.

SEMI-CUSTOM (CUSTOM I)

The Semi-Custom homesite (Custom I) allows for a unique opportunity for homeowners and builders interested in creating a home with custom features, while working with a lot with a graded flat pad, utilities and a driveway cut.

Semi-Custom Home Site Development Standards

Lot Area, Width, Depth & Coverage

Lot Area Min.	10,000 S.F.
Width Min.	30' - 0" (Min. on pie shaped lots)
Depth Min.	75' - 0"
Building Coverage ⁴	60% or 6000 S.F. (whichever is smaller)

Setbacks (from Property Line)

Front	15' - 0" Min. (20' - 0" at front facing garage)
Interior Side Aggregate	15' - 0" (5' - 0" Min.)
Side at Corner	10' - 0" Min.
Rear	20' - 0" Min.
Porches	5' Max. Encroachment allowed into required front, rear or side yard setbacks (5' Min. setback at side yard)

Height ²

Building Max.	32'- 0"
Maximum Stories	2 Above grade at entry

Permitted Density (Maximum Per Lot)

Allowable Units Per Lot	1 Primary Dwelling Unit 1 Secondary Dwelling Unit
Allowable Accessory Structures	1 Detached Garage per lot 1 Casita or Secondary Dwelling Unit per lot

1. Encroachments may include window bays, chimneys, furred columns or walls, A/C units and other architectural projections. A min. of 3' clear passage must be maintained for emergency responders.
2. Building height is measured from finished grade at entry to the top of the ridge/parapet.
3. On odd-shaped lots, the rear of the home may come in to close contact with the rear of the lot. In these instances, the rear yard setback of the home may be reduced to 5' - 0" so long as 50% of the home maintains the standard setback of 20' - 0".
4. Building coverage includes livable square footage, accessory structures, covered patios and any architectural enhancements.

CUSTOM HOME SITES (CUSTOM II)

Due to the unique nature of the Rancho Murieta North site, and the desire to allow flexibility to homeowners choosing to build their home within Rancho Murieta, a set of standards is needed for lots with unique features. These lots are road adjacent, ungraded, and may or may not have utilities or driveway cuts.

Custom Home Sites (Custom II) Development Standards

Lot Area, Width, Depth & Coverage

Lot Area Min.	10,000 S.F.
Width Min.	30' - 0"
Depth Min.	75' - 0"
Building Coverage ⁴ (Single-story residence)	60% or 6000 S.F. (whichever is smaller)

Setbacks (from Property Line)

Front	15' - 0" Min. (20' - 0" Min. at front facing garage)
Interior Side Aggregate	15' - 0" (5' - 0" Min.)
Side at Corner	10' - 0" Min.
Rear	20' - 0" Min.
Porches	5' Max. Encroachment allowed into required front, rear or side yard setbacks (5' Min. setback at side yard)

Height ²

Building Max.	32'- 0"
Maximum Stories	2 Above grade at entry

Driveways

Min. Length	20'- 0"
Max. Length	150'- 0"

Permitted Density (Maximum Per Lot)

Allowable Units Per Lot	1 Primary Dwelling Unit 1 Secondary Dwelling Unit
Allowable Accessory Structures	1 Detached Garage per lot 1 Casita or Secondary Dwelling Unit per lot

1. Encroachments may include window bays, chimneys, furred columns or walls, A/C units and other architectural projections. A min. of 3' clear passage must be maintained for emergency responders.
2. Building height is measured from finished grade at entry to the top of the ridge/parapet.
3. On odd-shaped lots, the rear of the home may come in to close contact with the rear of the lot. In these instances, the rear yard setback of the home may be reduced to 5' - 0" so long as 50% of the home maintains the standard setback of 20' - 0".
4. Building coverage includes livable square footage, accessory structures, covered patios and any architectural enhancements.

MINI RANCHETTES (CUSTOM III)

The mini ranchette homesites allow for a larger home with a guest cottage or accessory unit on a large lot. Often single-story with some second story elements, mini-ranchettes generally have ample land for equestrian uses. These lots are semi-road adjacent or accessed by a private drive, ungraded and have no utilities or driveway cuts.

Mini Ranchettes (Custom III) Development Standards

Lot Area, Width, Depth & Coverage

Lot Area Min.	1 Acre
Width Min. at Front Setback	80' - 0"
Depth Min.	100' - 0"
Building Coverage ⁴	20% or 10,000 S.F. (whichever is smaller)

Setbacks (from Property Line)

Front	30' - 0" Min.
Interior Side	10' - 0" Min.
Side at Corner	20' - 0" Min.
Rear	30' - 0" Min.
Porches	5' Max. Encroachment allowed into required front, rear or side yard setbacks (5' Min. setback at side yard)

Height ²

Building Max.	32'- 0"
Maximum Stories	2 Above grade at entry

Driveways

Min. Length	20'- 0"
Max. Length	150'- 0"

Permitted Density (Maximum Per Lot)

Allowable Units Per Lot	1 Primary Dwelling Unit
	1 Secondary Dwelling Unit
Allowable Accessory Structures	1 Detached Garage per lot
	1 Casita or Secondary Dwelling Unit per lot
	1 Barn or Stable per lot

1. Encroachments may include window bays, chimneys, furred columns or walls, A/C units and other architectural projections. A min. of 3' clear passage must be maintained for emergency responders.
2. Building height is measured from finished grade at entry to the top of the ridge/parapet.
3. On odd-shaped lots, the rear of the home may come in to close contact with the rear of the lot. In these instances, the rear yard setback of the home may be reduced to 5' - 0" so long as 50% of the home maintains the standard setback of 20' - 0".
4. Building coverage includes livable square footage, accessory structures, covered patios and any architectural enhancements.

ACCESSORY STRUCTURES

Accessory Structures are allowed within Rancho Murieta North on certain lots. They are often known as Casitas; in-law units or granny units. Accessory units create unique opportunities for homeowners looking to provide a home for a loved one such as parents or children, and can also provide for supplemental income.

Accessory Structures Development Standards

Types of Accessory Structures

Detached Garages	1, 2 or 3 Car Spaces	800 S.F. Max.
Casita	Kitchenette and 1 Bathroom Allowed (With No Cooking Appliances - Microwave Ok)	800 S.F. Max.
Secondary Dwelling Unit	Maximum of 2 Bedrooms and 1 Bathroom, Full Kitchen Allowed	1,000 S.F. Max.
Barn/Stable		1,200 S.F. Max.

Setbacks for Detached Accessory Structures (from Property Line)

Front	15' - 0" Min.
Interior Side	5' - 0" Min.
Side at Corner	10' - 0" Min.
Rear	5' - 0" Min.
Separation from Main Home	10' - 0" Min.

Height ²

Building Max.	25'- 0"
Maximum Stories	2 Above grade at entry

1. Encroachments may include window bays, chimneys, furred columns or walls, A/C units and other architectural projections. A min. of 3' clear passage must be maintained for emergency responders.
2. Building height is measured from finished grade at entry to the top of the ridge/parapet.
3. On odd-shaped lots, the rear of the home may come in to close contact with the rear of the lot. In these instances, the rear yard setback of the home may be reduced to 5' - 0" so long as 50% of the home maintains the standard setback of 20' - 0".
4. Casitas and secondary dwellings units may also be attached to the primary residence, or located over a detached garage.

2.3 RESIDENTIAL DESIGN

The site planning and layout of each development is encouraged to have strong curb appeal. Building locations can frame prominent corners in highly visible portions of the site. Parking areas can become less prominent through building enclosures, creative landscaping and setbacks. Consider the following:

RELATIONSHIP BETWEEN BUILDINGS

- Use signature detailing to establish the community's architectural character in form, color, and materials.
- Avoid abruptly disharmonious and monolithic architectural style, color, and material.

BUILDING FORM

- When designed, front porches should be sufficiently sized to be usable for sitting to provide outdoor private space for residents.
- Avoid style "appliqué" on inappropriate building forms (i.e. English half-timbering on 4:12 pitch roof of a Tuscan home).
- Articulate the building massing appropriately to minimize boxiness along the front and rear elevations as well as the street, or public/private facing side elevations and corner lot units.
- Provide a variety of both single and multi-story elements within multi-story home designs.

ENTRIES

- If included, porches, exterior stairs, and decks should be designed to reflect the appropriate scale and detail for the architectural style.
- Exterior stairs, railings, short walls, trellises and roof forms all contribute architectural detail and character of the porch and provide visual interest to homes.
- Where topography allows and where feasible, entries should be elevated above the street level.



GARAGES

- Reduce private driveway pavement to the minimum functional width. For driveways that serve as access roads, pavement shall be the min. width allowed by the fire department.
- Garage doors are encouraged to be recessed behind the front facade living space.

ROOFS

A variety of roof plans and pitches is desired, dependant on architectural style, as roof forms and materials have a significant impact on the impression of variety within a neighborhood.

- Roof extensions over windows for shading and associated brackets are strongly encouraged to add character and interest to the roof forms as appropriate for the architectural style.
- Roofs over one-story elements, such as those over porches or bays, provide additional articulation of the massing of larger two-story residences and are strongly encouraged.
- Unarticulated roof forms should not be set on a constant wall plate height.
- Variation in ridge line heights and alignments should be incorporated in order to create visual interest.
- If used, a flat or very low sloped roof should be appropriate to the architectural style and be screened from view by a parapet that is appropriate to the architectural style.
- Built-up or roll roofing and similar appearing materials that are predominantly used on flat roofs are only permitted if they are not visible from the street or other public area.
- Roof penetrations for vents should be consolidated and located on the rear side of roof ridges whenever possible. All vents should be painted to match the roof color unless dictated by an architectural style.



- Skylights that are visible from the street are strongly discouraged.
- Where sloping roofs are used, each building should have a variety of roof forms to the extent possible within the architectural style being applied. Roof lines should be broken up and varied within the overall horizontal plane.
- Roof forms should be designed to correspond to, and accentuate, building elements and functions such as entrances.
- As much as possible, solar panels shall be designed into roofs to be integrated into the design style. This may include placement, color, size and street appeal.

MATERIALS, FINISHES & DETAILS

- Integrate gutters, downspouts, and rainwater leader heads into the roof/wall detailing and design as part of the facade where feasible.
- Select roofing materials to be appropriate to their related architectural style and use an appropriate pitch for that style.
- When different wall materials are used, change materials at inside corners where the building plane changes direction.
- Utilize materials that are unique to a style, such as decorative tiles on a Spanish elevation.
- Provide for window placement that respects the privacy of a neighbor's indoor living space and outdoor areas.

MODEL HOME COMPLEXES

Model Home complexes are a necessary function of a builder's responsibility to effectively market new homes and the community to potential homebuyers. The formal requirements for model homes complexes are included in the Implementation Chapter, however some general guidelines are noted below:



- Model Homes Complexes should be located in the most desirable place within a development plan. These areas should be special points of interest in the development plan, such as adjacent or facing on to a park, open space, or have a trail linkage.
- Model Home Complexes can be over-flagged, over-bannered, and over-signed, creating chaos for a potential buyer and unnecessary visual clutter for the Rancho Murieta community. Consider limiting flags, wayfinding signs, and banners to the minimal amount necessary.
- If the floor plans for a development area include a one-story plan, the applicant should consider using this in their model complex.
- Model Home sales offices are encouraged to not only provide marketing collateral on the floor plans, but also about the community of Rancho Murieta, including information regarding the golf course, trails and the vibrant equestrian community.
- The Model Home Complex should include a variety of elevation styles so future buyers have as many visual cues as possible to see what their potential new home could look like.



The background of the entire page is a vertical wood grain texture, likely oak, with a warm brown color palette and visible knots and grain patterns.

CHAPTER 3

ARCHITECTURAL CHARACTER

CHAPTER 3 - ARCHITECTURAL CHARACTER

3.1 ARCHITECTURAL CHARACTER

Nine heritage building styles that reflect early California architecture are recommended to be used throughout Rancho Murieta North:

- Early California
- Hacienda
- Spanish
- Santa Barbara
- California Ranch
- Monterey
- Andalusian
- Tuscan
- Italian Country

The elements of each architectural style are outlined below as design guidelines intended for application to the buildings, within Rancho Murieta North. Where feasible and appropriate these styles shall form a context for other applications such as community monumentation and accessory structures, so that all of the buildings in the community are consistently themed in one vernacular. In many instances, this may be achieved through extrapolation rather than direct application.

EARLY CALIFORNIA

Identifying Characteristics

- Simplistic asymmetrical massing
- Gable and shed roof forms
- Stucco wall finish with deep recesses
- Linear arcade

Building Massing

- Two story massing or one story massing with tower elements
- 4:12 To 7:12 roof pitches
- Gable roof forms with single story shed roofs
- 12" To 24" deep eaves; 12" deep rakes

Exterior Materials

- Stucco wall finish
- Concrete or clay 's' tile or barrel tile roofing
- Wood fascia and rafter tails

Windows

- Smaller, deep recessed windows
- Vertical rectangular shape
- Rosette or circular accent windows

Trim Detail

- Stucco over foam with long extensions
- Brick accents
- Cast concrete at accent feature
- Rough sawn wood lintles

Ornamentation

- Shaped outriggers at rakes
- Shaped corbels at eaves
- Clay vents
- Battered or sculpted walls
- Adobe brick features
- Rounded porch columns or wood posts



Representative Elevation



Gable End Detail



Shaped Wall Detail



Arcade Detail

HACIENDA

Identifying Characteristics

- Predominately wide 1-story massing
- Entry courtyard
- Wide front porch
- Low pitched gable roof forms

Building Massing

- Wide, single story massing with front porch
- 3:12 To 5:12 roof pitches
- Informal gable roof forms
- 12" To 24" deep eaves, 8" to 12" rake overhangs

Exterior Materials

- Stucco wall finish
- Stone or adobe brick accent walls
- Concrete or clay 's' tile or barrel tile roofing
- Wood fascia and exposed rafter tails

Windows

- Tall, narrow recessed windows
- Wood window bays

Trim Detail

- Stucco over foam
- Brick accents
- Wood lintles

Ornamentation

- Shaped rafter tails
- Heavy plank shutters
- Wrought iron accents
- Wood porch posts



Representative Elevation



Courtyard Detail



Window Detail



Wrought Iron Detail

SPANISH

Identifying Characteristics

- Asymmetrical massing
- Low pitched gable roof forms
- Stucco wall finish with deep recesses
- Arched elements

Building Massing

- One story massing or two story massing with one story elements
- 3:12 To 5:12 roof pitches
- Gable roof forms with some hips and shed roofs
- Shaped wing walls
- 12" To 18" deep eaves; tight rakes

Exterior Materials

- Stucco wall finish
- Concrete or clay 's' tile or barrel tile roofing
- Wood fascia and rafter tails
- Wood accent walls

Windows

- Deep recessed feature windows
- Vertical rectangular or circular shapes
- Circular or elliptical accent windows

Trim Detail

- Stucco over foam
- Brick accents
- Cast concrete trim

Ornamentation

- Brick accents
- Wrought iron details
- Shaped rafter tails
- Clay vents
- Decorative colorful tiles



Representative Elevation



Entry Surround Detail



Wood Siding Detail



Sculpted Rake Detail

SANTA BARBARA

Identifying Characteristics

- Informal asymmetrical two-story massing
- Low pitched gable roof forms
- Stucco walls with sculpted forms

Building Massing

- Two story massing with tower or front courtyard
- 3:12 To 5:12 roof pitches
- Informal gable roof forms with some hipped elements
- 12" Deep soffit eaves with continuous molding, tight rake with sculpted patterns

Exterior Materials

- Stucco wall finish
- Concrete or clay 's' tile or barrel tile roofing

Windows

- Vertical rectangular shapes
- Elliptical or parabolic feature windows
- Recessed windows

Trim Detail

- Stucco over foam
- Cast concrete
- Decorative tile

Ornamentation

- Brick accents
- Decorative colorful tile work
- Clay vents
- Round porch columns
- Wrought iron accents



Representative Elevation



Balcony Detail



Decorative Tile Detail



Recessed Window Detail



Sculpted Wall Detail

CALIFORNIA RANCH

Identifying Characteristics

- Asymmetrical single story massing
- Low pitched gable and hip roof forms
- Stucco wall finish with board and batt or brick accents

Building Massing

- Wide, single story massing with tower or porch
- 3:12 To 6:12 roof pitches
- Gable and hip roof forms with shed roofs and pitch breaks
- 12" To 18" deep eaves, 6" to 12" rake overhangs

Exterior Materials

- Stucco wall finish
- Board and batt or brick accent walls
- Concrete or clay 's' tile or barrel tile roofing
- Wood fascia and rafter tails
- Adobe brick

Windows

- Vertical rectangular shapes
- Square bay windows

Trim Detail

- Stucco over foam
- Brick accents
- Rough sawn wood

Ornamentation

- Angled rafter tails
- Angled corbels at gable ends
- Brick accents
- Wood porch posts



Representative Elevation



Porch Detail



Brick Detail



Recessed Window Detail

MONTEREY

Identifying Characteristics

- Asymmetrical two story massing
- Low pitched gable roof forms
- Stucco wall finish with board and batt accents
- Second floor balcony

Building Massing

- Two story massing with gable on one side
- 3:12 To 5:12 roof pitches
- Gable roof forms with shed roofs and pitch breaks
- 12" Deep eaves; 6" deep rakes

Exterior Materials

- Stucco wall finish
- Board and batt accents
- Concrete or clay 's' tile or barrel tile roofing
- Wood fascia and rafter tails
- Brick accent walls

Windows

- Vertical rectangular shapes
- Single story bay windows

Trim Detail

- Stucco over foam
- Brick accents
- Rough sawn wood

Ornamentation

- Shaped deck and porch beams
- Shaped corbels at gable ends
- Brick accents
- Wood shutters



Representative Elevation



Balcony Detail



Railing Detail



Wood Beam Detail

ANDALUSIAN

Identifying Characteristics

- Formal symmetrical or asymmetrical massing
- Brick feature walls
- Low pitched gable or hip roof forms
- Tower element

Building Massing

- Formal two story massing
- 4:12 To 5:12 roof pitches
- Gable or hipped roof forms
- 6" To 12" deep eaves, flush to 6" rake overhangs
- Arched openings

Exterior Materials

- Stucco wall finish
- Brick accent walls
- Concrete or clay 's' tile or barrel tile roofing
- Continuous soffited eaves with sculpted molding

Windows

- Deep recessed windows
- Vertical rectangular shapes
- Arched feature windows

Trim Detail

- Stucco over foam
- Brick accents
- Cast concrete at feature windows
- Decorative tile

Ornamentation

- Decorative colorful tile work
- Round columns
- Wrought iron accents
- Detailed brick work



Representative Elevation



Brick Detail



Tower Element



Balcony Detail

TUSCAN

Identifying Characteristics

- Asymmetrical two-story massing
- Stone feature walls
- Low pitched gable roof forms with shed roofs
- Front porch or tower element

Building Massing

- Compact two story massing
- 4:12 To 5:12 roof pitches
- Gable roof forms with shed roofs and pitch breaks
- 12" To 18" deep eaves, 12" rake overhangs

Exterior Materials

- Stucco or stone wall finish
- Wood accent walls
- Concrete or clay 's' tile or barrel tile roofing
- Wood fascia and rafter tails

Windows

- Vertical rectangular shapes
- Recessed windows
- Circular accent windows

Trim Detail

- Stucco over foam
- Rough sawn wood
- Brick accents

Ornamentation

- Round porch columns or wood posts
- Cast concrete accents
- Shaped rafter tails
- Wood corbels at gable ends
- Heavy plank shutters



Representative Elevation



Window Detail



Balcony Detail



Wood Bay Detail

ITALIAN COUNTRY

Identifying Characteristics

- Asymmetrical gables
- Low pitched gable roof forms
- Stucco wall finish with deep recesses
- Entry courtyard or porch

Building Massing

- One or two story massing
- 3:12 To 4:12 roof pitches
- Asymmetrical gable roof forms
- 6" To 12" eave overhangs with continuous molding, flush to 6" rake overhangs - sometimes with continuous molding

Exterior Materials

- Stucco wall finish
- Stone accent walls
- Concrete or clay 's' tile or barrel tile roofing

Windows

- Vertical rectangular shapes
- Deep recesses
- Rosette accent windows

Trim Detail

- Stucco over foam
- Cast concrete at feature windows

Ornamentation

- Continuous foam molding at eaves and rakes
- Brick accents
- Round porch columns
- Wood shutters
- Cast concrete accents



Representative Elevation



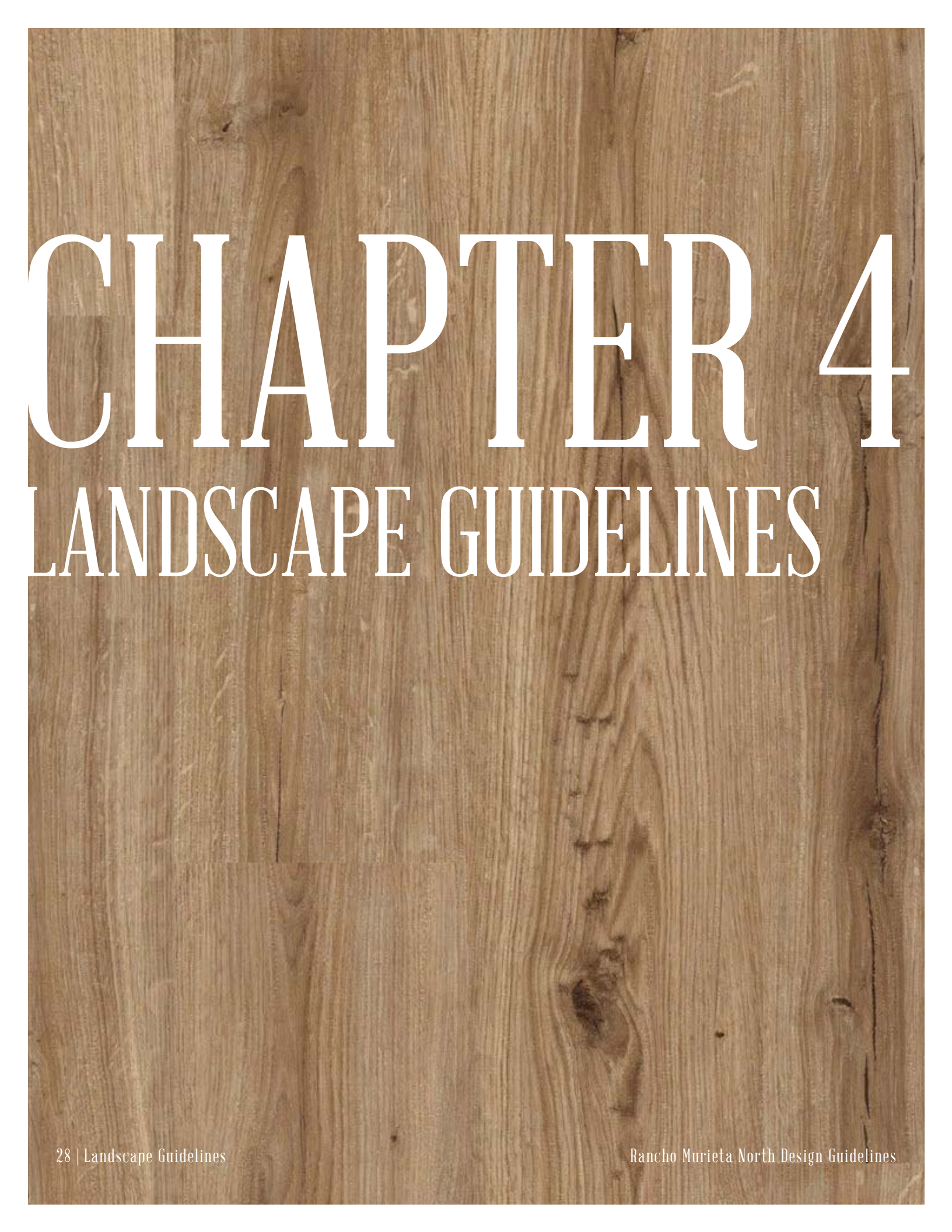
Wrought Iron Detail



Cantilever Detail



Window Detail

The background of the entire page is a vertical wood grain texture, likely oak, with a warm brown color palette and visible knots and grain patterns.

CHAPTER 4

LANDSCAPE GUIDELINES

CHAPTER 4 - LANDSCAPE GUIDELINES

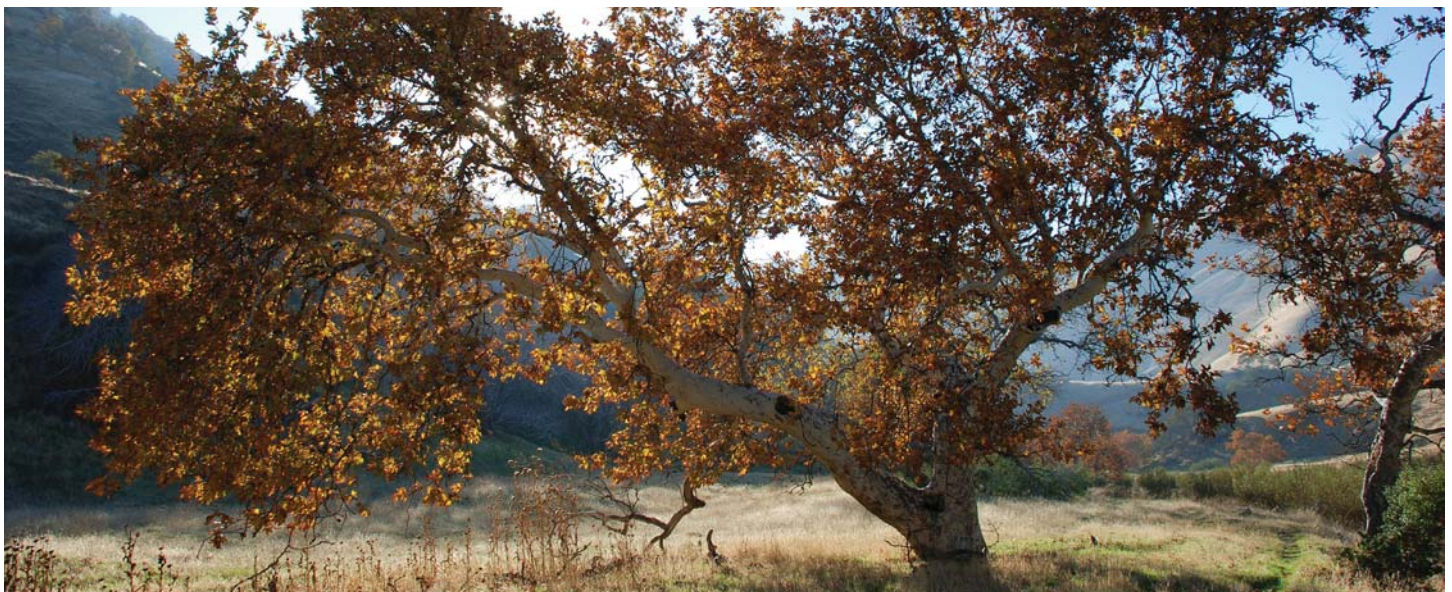
4.1 LANDSCAPE CHARACTER

Rancho Murieta North is nestled in the natural rolling grassy and oak lined topography of the undeveloped areas of established Rancho Murieta Community. Transitioning from the existing indigenous landscape of this area with its unique rock outcroppings and natural drainage ways is intended to be subtle, requiring the neighborhood builder to provide a seamless blend into adjacent areas.

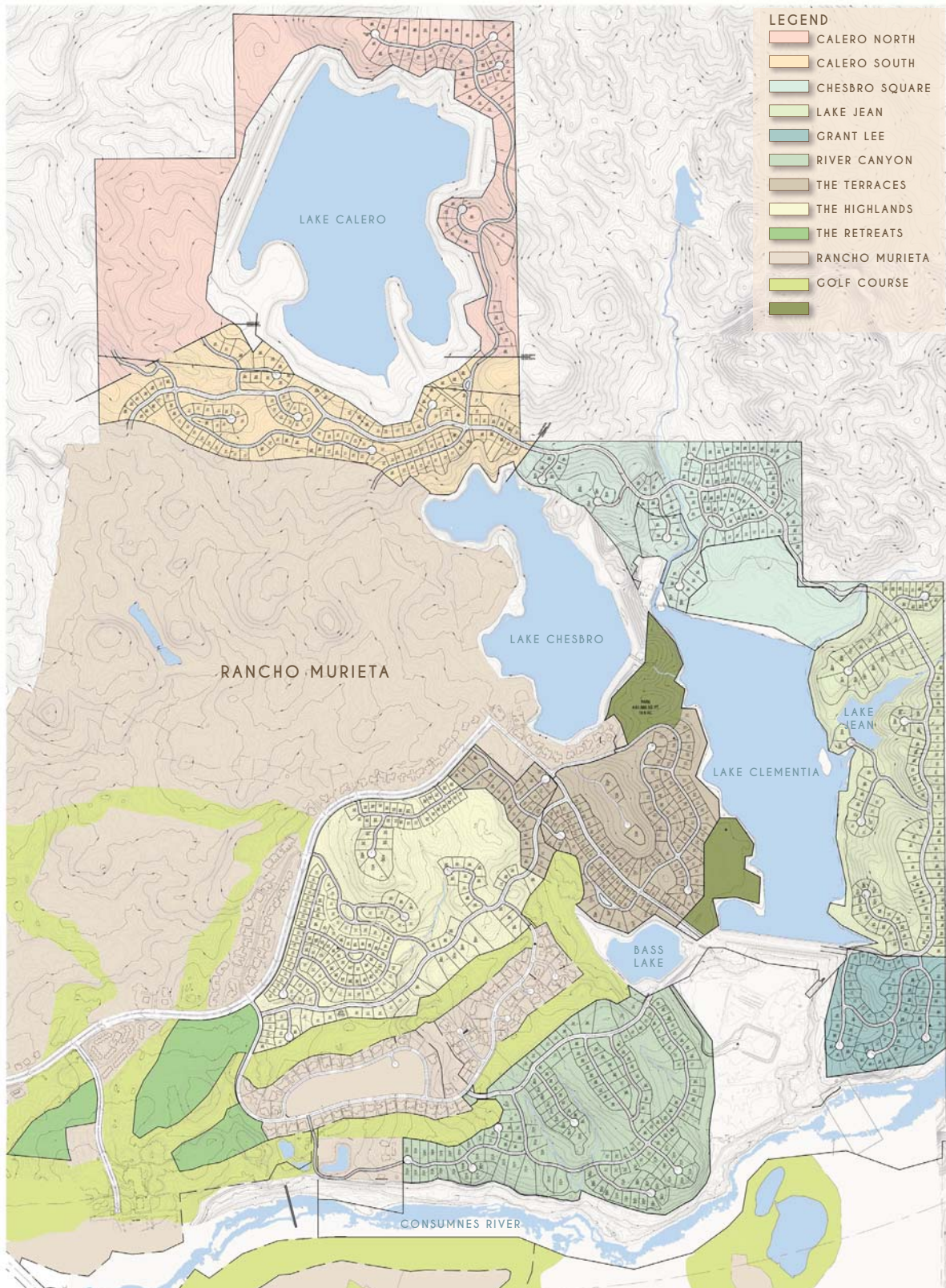
The plant palette for streetscapes, slopes, parks, open space and individual neighborhoods borrows from the native and naturalized plant materials of the area. This provides a dramatic palette rich with texture and natural color while still complimenting the long established community of Ranch Murieta. Within the neighborhoods; architectural styles, hardscape elements and materials along with the private landscape further reinforce the rural character of the development.

LANDSCAPE CHARACTER ZONES

Rancho Murieta North is divided into several Landscape Character Zones that coincide with the various planning areas. Each of these character zones presents itself with its own topography and unique features. Plant palettes have been developed for each of these Character Zones, to assist each builder in selecting and crafting the landscape to complement and enhance the character of each zone. The Landscape Character Zone Diagram provides an overview of where each Zone is located within the master development and its geographical relationship to each other.



4.1 LANDSCAPE CHARACTER DIAGRAM



4.2 SMART LANDSCAPE TECHNIQUES

Through sensitive design each Neighborhood Builder can conserve valuable resources. Easy to implement techniques are listed below. Landscape Architects are encouraged to research other possibilities and incorporate them into the Model Home and common area landscape designs.

Water use reduction can be achieved by landscape and irrigation design. Drought-tolerant plant material, limiting turf areas and proper irrigation design can provide significant water consumption savings. When designing and installing landscape and irrigation systems the following should be considered:

DESIGN LANDSCAPE BASED ON THE FOLLOWING:

- Use of drought tolerant and native plant material
- Select plant material based on soil conditions
- Site plant material based upon solar orientation
- Use deciduous trees to provide winter sun exposure and summer shading
- Plant shrubs and vines to shade house
- Planting fruit and nut trees along with vegetables and herbs
- Minimize turf and hardscape areas
- Purchase landscape materials from local resources
- Use mulch and soil amendments to retain soil moisture
- Install colored hardscape to reduce glare and reflected heat
- Provide shade structures with solar panels
- Use low-volume water features for cooling effect
- Install a barbecue and/or fireplace for alternative outdoor living
- Use low-voltage lighting controlled by a timer and/ or photocell
- Select recycled materials for construction and site furnishings
- Use pool and spa covers
- Collect roof run-off for hand watering



DESIGN IRRIGATION SYSTEMS BASED UPON THE FOLLOWING:

- Soil percolation
- Sun and shade patterns
- Wind effects
- Minimize run-off
- Use of efficient, “state of the art” irrigation equipment and design



4.3 MONUMENTATION

COMMUNITY ENTRY MONUMENT

Monuments are a unique community icon that is intended to announce one's arrival, provide a Gateway, and Introduce you to the community's character and personality.

The Community Entry Monument illustrated below is located along Murieta Parkway and Provides the Gateway into Rancho Murieta North. Designed and installed by the Master Builder, the community entry monuments will set the tone for the rest of the monumentation but also for the community as a whole. The monumentation diagram provides an overview of monument locations and hierarchy.



Conceptual Community Entry Monument Elevation

4.3 MONUMENTATION

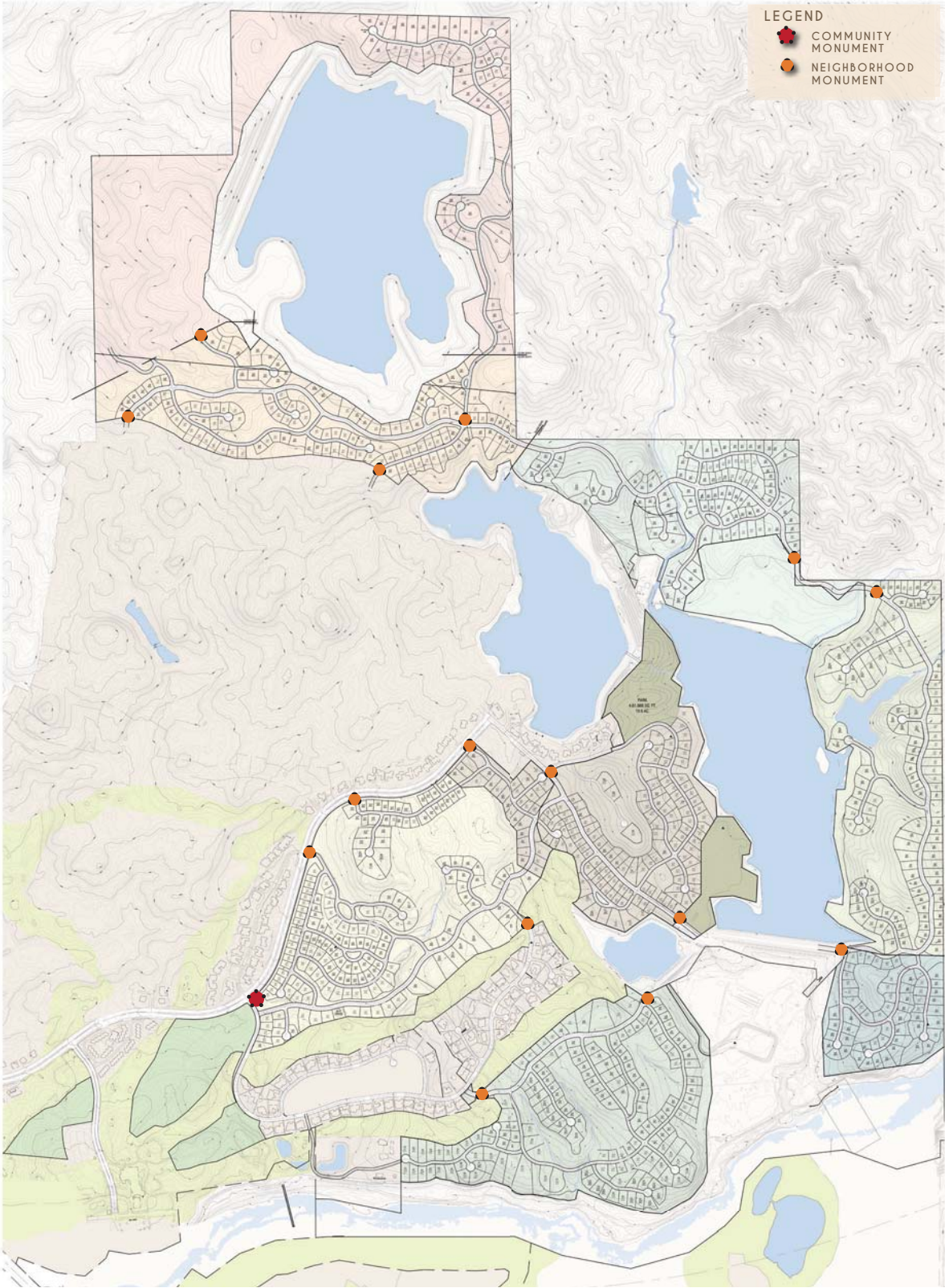
NEIGHBORHOOD ENTRY MONUMENT

The Neighborhood Entry Monuments are much smaller in scale and proportion to the main Community Monuments and serve as portals into each “Village” of RMN. This way-finding feature uses natural materials intended to compliment the rural character of the greater landscape context. Additionally it will connect with the surroundings via ornamental plantings consistent with the individual character zone of each village. The monument location diagram indicates where each location of these Master Builder installed monuments will occur.



Conceptual Neighborhood Entry Monument Elevation

4.3 MONUMENTATION DIAGRAM



4.4 COMMUNITY LANDSCAPE

Community Streets, collector and arterial, open space and monumentation will be the responsibility of the Master Builder. Some street will have a single loaded meandering curb separated sidewalk and/or trail system to provide links to the major community amenities, park and lakes throughout RMN. The landscape and street tree program will be informal groupings intended to meander in and out of the parkways, slopes, and open spaces creating a natural relaxed tone as opposed to a traditional evenly spaced tree lined formality. The landscape is intended to reduce high water turf grasses in favor for more rustic native and naturalized grasses in parkways and large open space areas. Water-wise plant groupings used in informal arrangements continue to reinforce this rural landscape design. Tree selections will be intentionally limited to embrace a more natural palette.

Internal streetscapes will be the responsibility of the Neighborhood Builder. Most internal streets will not have a traditional formal parkway strip defined by a sidewalk and curb. To create a cohesive neighborhood street scene the arrangement of the street trees will play a critical role. Street Trees will be placed in informal groupings to mimic the surrounding groves of trees and Oak woodlands.

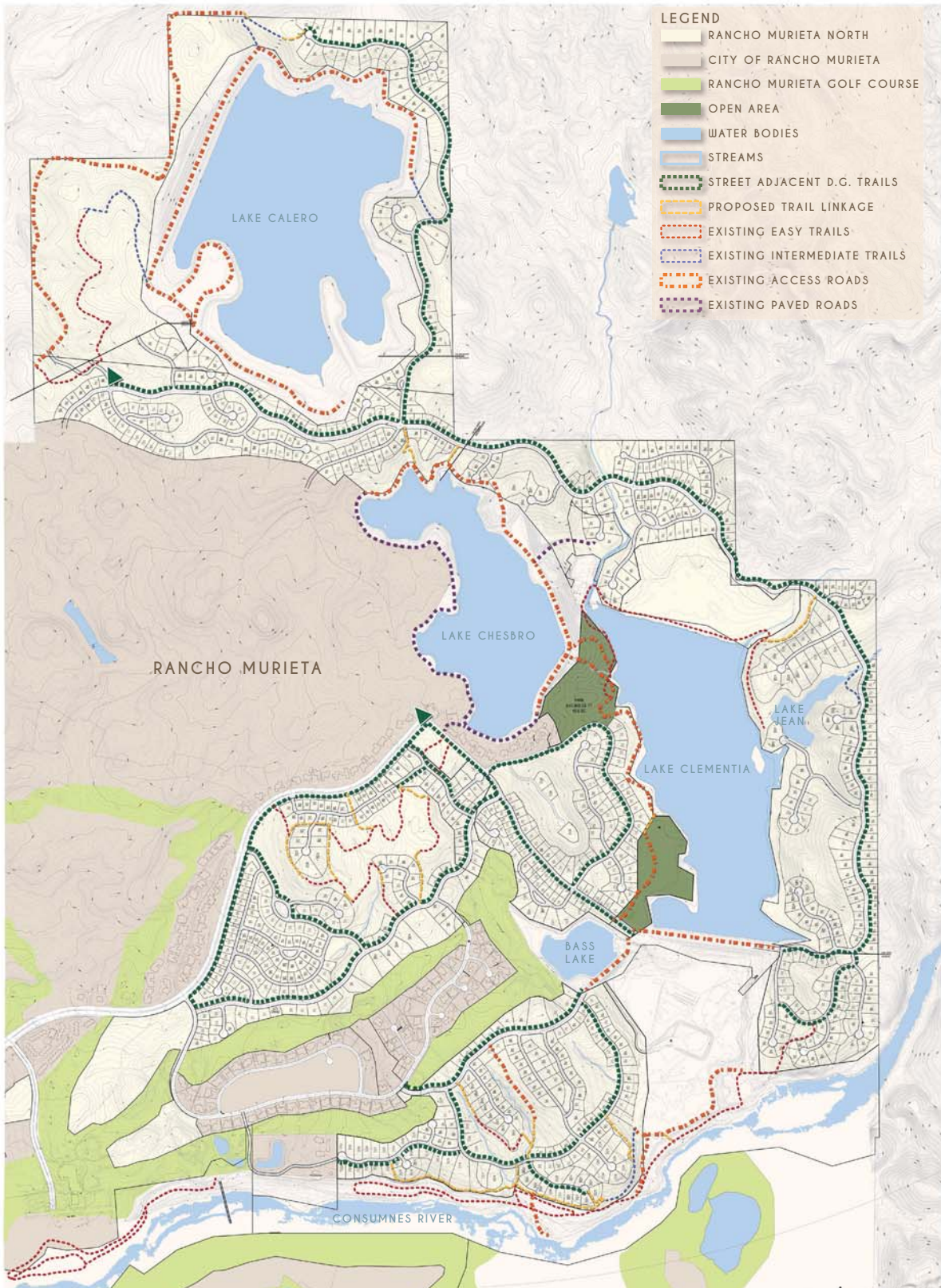


4.5 COMMUNITY TRAILS

A primary cornerstone of Rancho Murieta North as its own community and as it fits into the greater Rancho Murieta Community is the extensive trail system and links and interfaces with the existing trail systems within Rancho Murieta and also to regional trails beyond the boundaries of the community. In creating neighborhoods that are linked together through trails and sidewalks, this provides for a safe pedestrian and bicycle circulation tying the community together and providing access to the many natural and built amenities the community has to offer. This also allows for an Active lifestyle and community promoting strong community connections. In the overall planning, many of the existing Rancho Murieta Trails systems were considered and retained in whole or part and can be accessed from the RMN community trail system. The Community Trail Map and trail sections provide an overview of the trail systems and how the various neighborhoods are linked together.

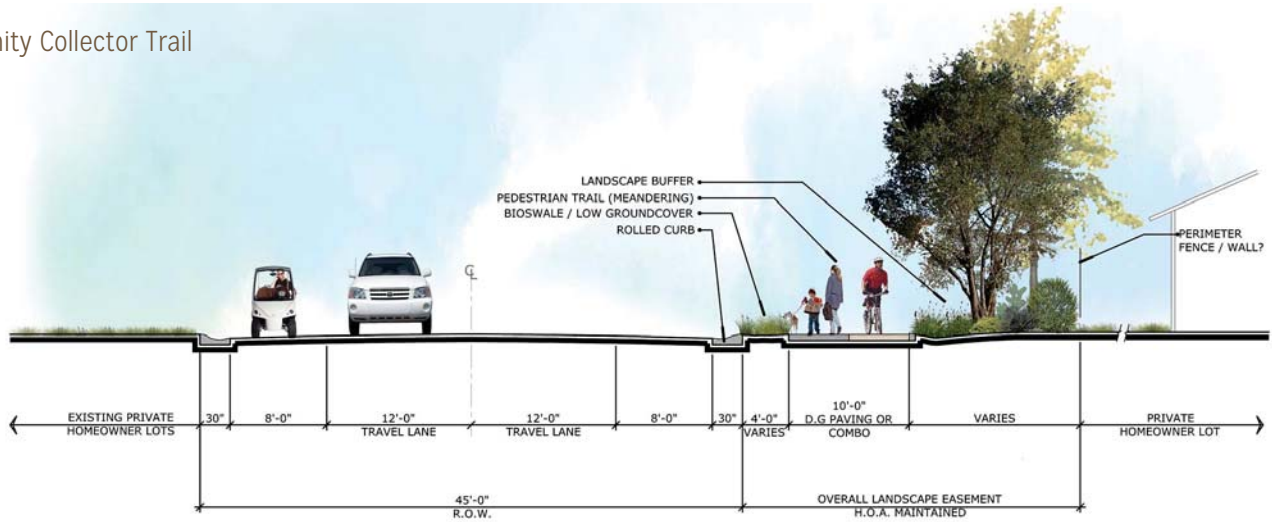


4.5 COMMUNITY TRAIL MAP

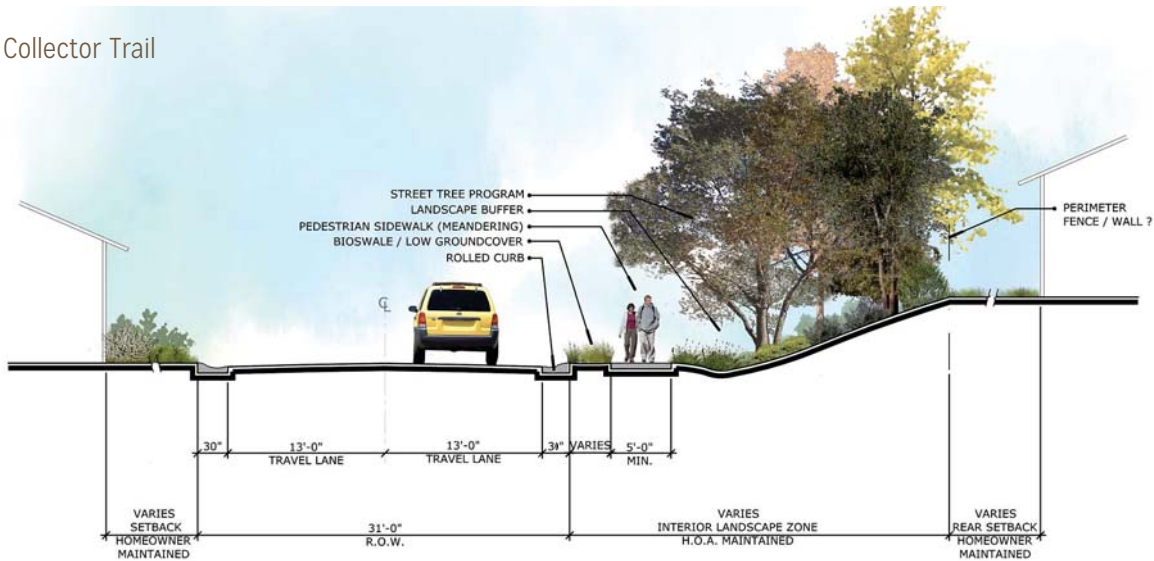


4.5 COMMUNITY TRAIL SECTIONS

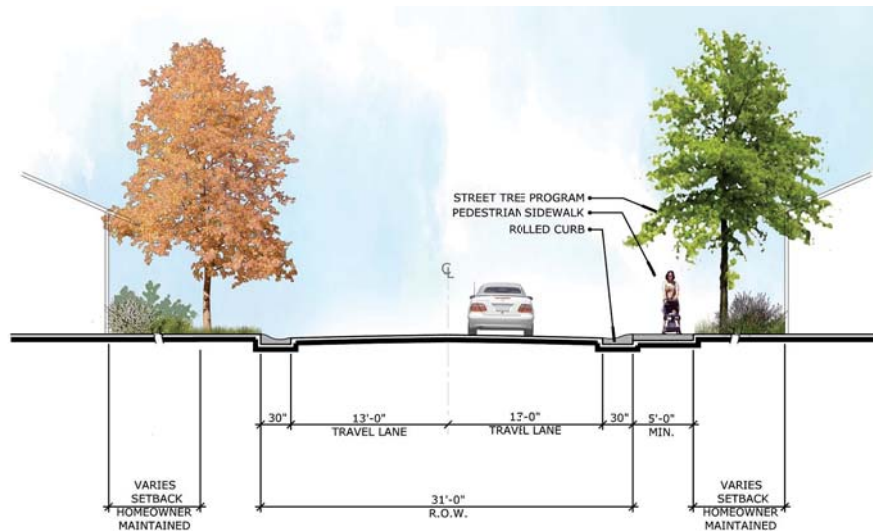
Community Collector Trail



Neighborhood Collector Trail



Residential Street Trail



4.6 NEIGHBORHOOD LANDSCAPE

Landscape is a unifying element for Rancho Murieta North. Slopes, common areas, streetscapes and private yards provide landscape opportunities that will reinforce architectural character, soften building massing, frame views and provide year round beauty. Minimum landscape requirements for Model Homes, Common Areas and Private Lots are provided in the following pages to ensure a unified palette and theme.

MODEL HOME LANDSCAPE

Model Homes provide the opportunity to demonstrate how each Homeowner can make their contribution to complete the vision of Rancho Murieta North. In order to achieve true authenticity, it is important that the detailing throughout the Model Homes be carried into the landscape design. Homeowners often use these sales facilities to formulate their own yards. The overall landscape design for each Model Home should enhance and soften architectural massing. Hardscape and landscape materials shall be selected for their ability to compliment and reinforce the architectural character of each Model Home.



MODEL HOME MATERIALS AND AMENITIES SHOULD INCLUDE:

Hardscape features:

- Enhanced paving: colored, scored and washed concrete, natural stones, pavers and brick
- Enhanced driveway paving
- Access to rear yard or private space
- Planters
- Garden ornaments
- Thematic outdoor furniture
- Potted plants
- Accent wall treatments: tiles, iron work, brick and stone
- Landscape accent lighting
- Patio covers, trellises and arbors
- Pools, spas and water features

Landscape features:

- Hydrozones for planting and irrigation
- Soften architectural massing with trees, shrubs and vines
- Enhance and preserve off site views with strategic slope planting

- Mix evergreen and deciduous tree species
- Plant material that reinforces the architectural theme and site characteristics
- Large container grown tree and shrub species to provide instant impact.
- Automatic irrigation system with Smart Timer.
- At least 2" of composted mulch in planting areas.
- Minimize turf grass areas

Special Site Considerations:

- Vertical tree massing's along the Property Line to soften architectural massing
- Landscape adjacent to both sides of garage doors
- Neighborhood entry and corner lot specimen trees
- Street trees - informal grouping masses maximum spacing 50'-0" between groups.
- Screening above ground utilities.



Model Home Landscape Criteria			
Builder Products	Cluster, Bungalow, Country Manor, Estates		
Landscape Area / Abbreviation	PRC Private Courtyards	FY Front Yards	PY Private Yard
Hardscape Features			
Enhanced paving - scorelines and washed finish	✓	✓	✓
Enhanced driveway paving - scorelines and washed finish	---	✓	---
Access to rear yard or private space	✓	✓	✓
Raised planters	✓	✓	✓
Garden ornaments	✓	✓	✓
Thematic patio furniture	✓	✓	✓
Potted Plants	✓	✓	✓
Accent wall tiles	✓	✓	✓
Trap fencing (where allowed by County of Orange)	---	✓	---
Landscape Features			
Irrigation & planting design reflects hydrozones	•	•	•
Soften architectural massing with trees, shrubs & vines	•	•	•
Enhance and preserve views with strategic plantings	•	•	•
% Evergreen trees	80	80	80
% Deciduous trees	20	20	20
% 36" box trees (see "Special Site Conditions" - next page)	60	70	60
% 24" box trees (see "Special Site Conditions" - next page)	40	30	40
% 15 gallon trees (see "Special Site Conditions" - next page)	∅	∅	∅
Plant material selected from the approved palette	•	•	•
Continuous foundation and base of wall planting	•	•	•
Provide seasonal color through trees, shrubs and perennials	•	•	•
Special Site Conditions			
Vertical tree massings along PL to soften architectural massings	36"	36"	36"
Landscape adjacent to both sides of garage doors	---	•	---
Neighborhood entry / corner lot trees	---	48"	---
Focal trees - 1 per each 400 S.F. area	48"	48"	48"
Street trees - maximum spacing 40' - 0"	---	---	---
Screening of utilities	•	•	•
Shrubs - Minimum Sizes			
% 15 gallon	25	30	25
% 5 gallon	60	60	60
% 1 gallon	15	10	15
Vines - Minimum Sizes			
% 15 gallon	100	100	100
% 5 gallon	0	0	0
% 1 gallon	0	0	0
Ground Covers - Minimum Sizes			
Grasses - minimum size - 1 gallon	•	•	•
Sod if turf is used - 150 S.F. minimum area	•	•	•
Rooted cuttings if ground covers are used	•	•	•
Hydroseed	∅	∅	∅
Mulch - 2" layer in shrub / ground cover areas	•	•	•
Irrigation Features			
Automatic system	•	•	•
Smart timer	•	•	•
Tied Into private homeowner system where applicable	•	•	•

- Minimum requirement
- # See Street Tree Exhibit
- ✓ Suggested
- ∅ Not acceptable
- Not applicable

NEIGHBORHOOD STREET SCENE

Internal streetscapes will be the responsibility of the Neighborhood Builder. Most internal streets will not have a traditional formal parkway strip defined by a sidewalk and curb. To create a cohesive neighborhood street scene the arrangement of the street trees will play a critical role. Street Trees will be placed in informal groupings to mimic the surrounding groves of trees and Oak woodlands. There should be a maximum distance between groupings of 50'-0". Each lot will have at least (1) "box tree from the list designated for that street, but many lots may have more than one tree. Clustering trees near property lines to form groups is another technique to achieve masses of trees. Builders should avoid the traditional regimented tree lined streets with trees evenly spaced. The Neighborhood Builder will install an automatic irrigation controller per each lot to provide irrigation to the street tree. The Builder will be responsible for the installation, irrigation and maintenance of the trees during the construction period. Ultimate maintenance will be the responsibility of the homeowner.

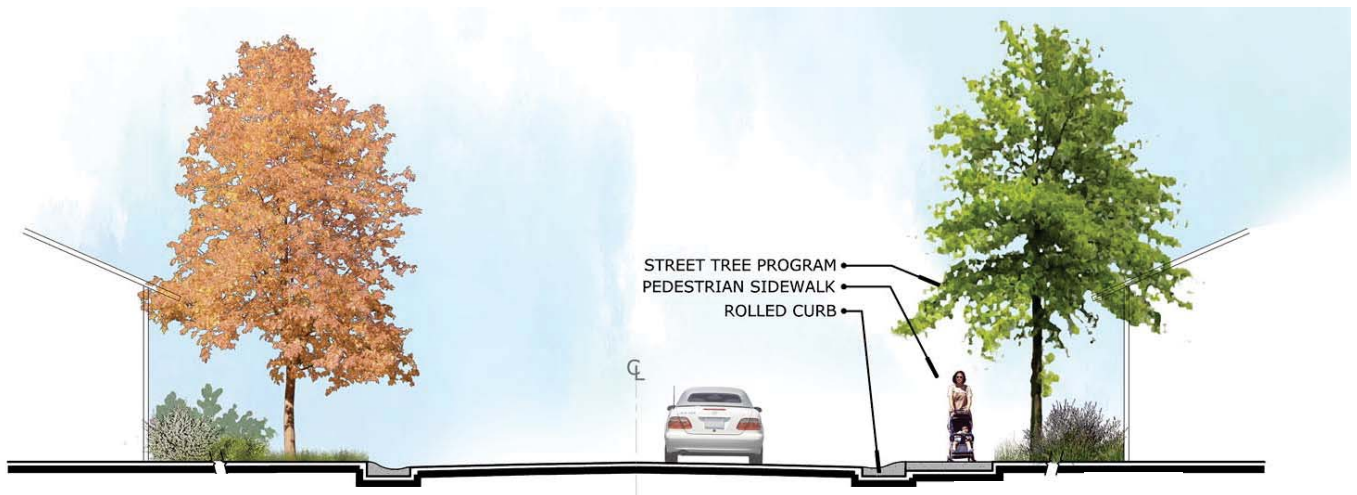
The overall street tree diagram indicates the desired trees to be used in the each specific neighbor street. Also please refer to the typical street tree layout diagram for examples of achieve the organic street tree layout.



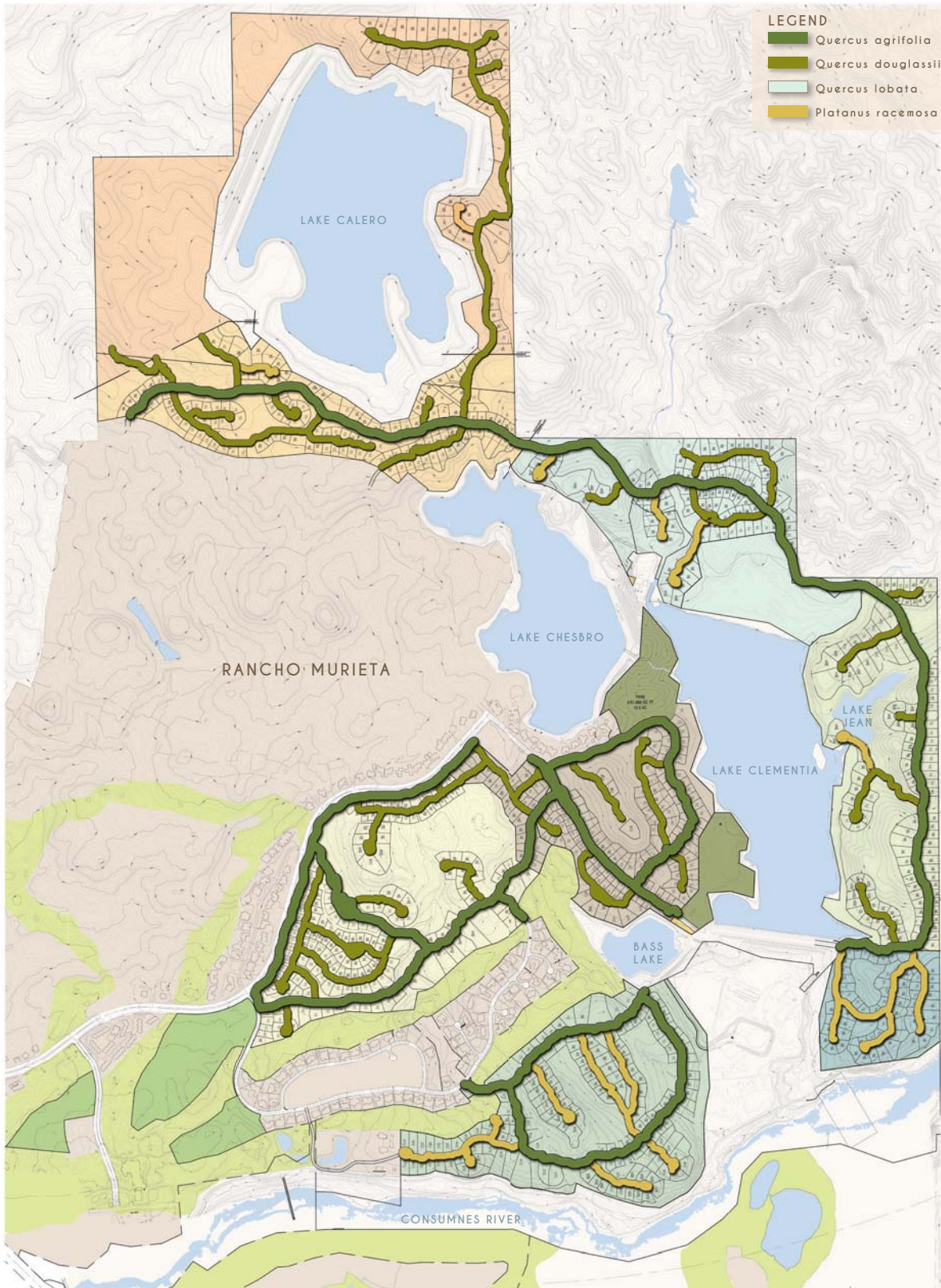
Example Street Tree Layout



Residential Street



Neighborhood Street Tree Map

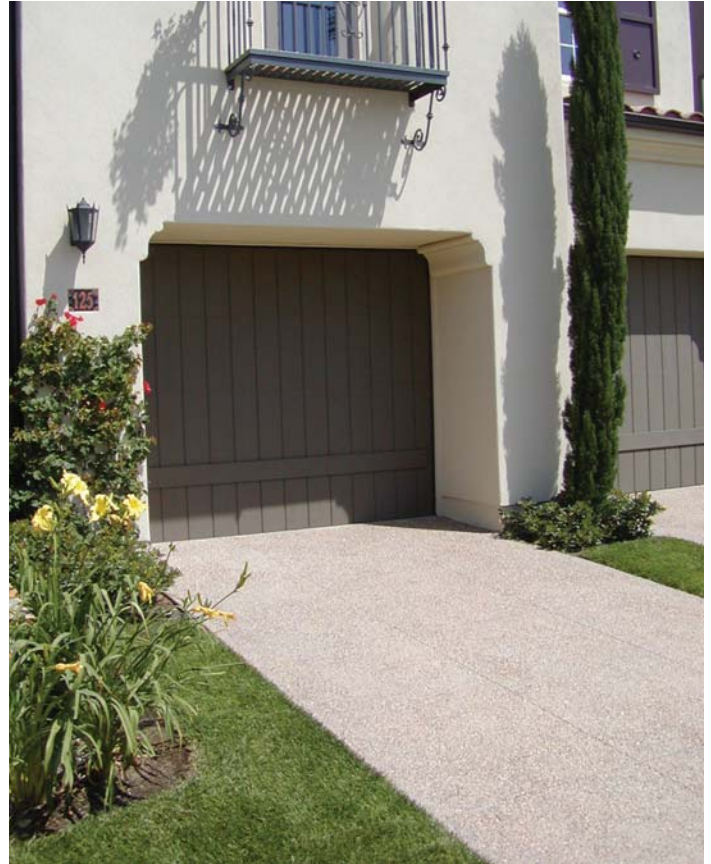


PRIVATE LOT LANDSCAPE

The neighborhood Builders or Individual Homeowners will be responsible for the design and installation of the landscape for the front, rear and sideyard areas within their own individual neighborhood(s)/Lot(s).

PRIVATE LOT LANDSCAPES SHOULD INCLUDE:

- Landscape plant selection and character that is consistent to the architectural theme of the house and compatible with the overall Rancho Murieta North Community and surrounding environment
- Each front yard shall include a minimum of (1) - " box **street tree** in informal groupings, designed and provided by neighborhood builder.
- Each front yard shall be landscaped using a combination of trees, shrubs groundcovers and hardscape elements.
- Each front yard shall have a minimum of (2) - "box trees in addition to the required street tree.
- Container shrub material shall be min. 5 gal with 15 gal shrubs suggested screening and accent areas. Ground covers may be installed with liners or 1 gal. Material.



- Each lot shall include an automatic irrigation system with an ET based controller, rain sensor and flow sensor.
- Landscape design should utilize hydrozoning for plant material and irrigation.
- Correct drainage practices are to be addressed throughout all landscape and hardscape areas.
- Care should be taken to preserve off-site views for all.
- See "Private Slope Areas" for slope conditions with private lots.



PRIVATE LOT SLOPES

The Neighborhood Builder shall design and install all slope planting not maintained by the Master Association. Each slope shall be planted and irrigated considering slope stability, water conservation and optimal solar exposure. Plant material should be chosen to reflect and reinforce the overall community character and density. Trees and shrubs are to be planted and situated with views and privacy in mind.



- Minimum requirement
- # See Street Tree Exhibit
- ✓ Suggested
- ∅ Not acceptable
- Not applicable

Private Lot Landscape Criteria				
Builder Products	Cluster, Bungalow, Country Manor, Estates			
Landscape Area / Abbreviation	FY	Front	SY	PS
	Yards	Yards	Yards	Private Slopes
Hardscape Features				
Enhanced dwelling entry paving - scorelines and washed finish	✓	---	---	---
Enhanced driveway paving - scorelines and washed finish	✓	---	---	---
Access to rear yard or private space	•	•	•	---
Mailboxes - U.S. Postal Service approved	---	---	---	---
Landscape Features				
Irrigation & planting design reflects hydrozones	•	•	•	•
Soften architectural massing with trees, shrubs & vines	•	•	•	---
Enhance and preserve views with strategic slope plantings	---	---	---	•
% Evergreen trees	80	80	80	80 +
% Deciduous trees	20	20	20	20 +
% 36" box trees (see "Special Site Conditions" below)	60	60	60	0
% 24" box trees (see "Special Site Conditions" below)	40	40	40	80
% 15 gallon trees (see "Special Site Conditions" below)	0	0	0	20
Plant material selected from the approved palette	•	•	•	•
Continuous foundation and base of wall planting	•	•	•	---
Provide seasonal color through trees, shrubs and perennials	•	•	•	•
Special Site Conditions				
Vertical tree massings along property lines to soften architecture	24"	24"	24"	15G
Trees at toe of slope to provide privacy	---	---	---	15G
Landscape adjacent to both sides of garage doors	•	---	---	---
Neighborhood entry / corner lot trees	48"	---	---	---
Street trees - maximum spacing 40' - 0"	---	---	---	---
Focal trees - 1 minimum	36"	---	---	---
Screening of utilities, AC's, trash containers, etc.	•	•	•	•
Shrubs - Minimum Sizes				
% 15 gallon	10	30	30	0
% 5 gallon	75	60	60	40
% 1 gallon	15	10	10	60
Vines - Minimum Sizes				
% 15 gallon	60	20	20	---
% 5 gallon	40	80	80	---
% 1 gallon	0	0	0	---
Ground Covers - Minimum Sizes				
Grasses - minimum size - Liner	•	•	•	•
Sod if turf is used - 150 S.F. minimum area	•	•	•	---
Rooted cuttings if ground covers are used	•	•	•	•
Hydroseed	∅	∅	∅	∅
Mulch - 2" layer in shrub / ground cover areas	•	•	•	•
Irrigation Features				
Irrigation design reflects hydrozones	•	•	•	•
Automatic system	•	•	•	•
Smart timer	•	•	•	•
Tied Into private homeowner system where applicable	•	•	•	•

Private Lot Landscape



ENHANCED CORNER LOT TREATMENTS

Enhanced corner lot treatments will be at entries into specific builder neighborhoods. A combination of hardscape and landscape elements with accent lighting will help represent the individuality of each builder neighborhood and reinforce the architectural character of each corner home. Each neighborhood builder will be responsible for installing a 48" box specimen corner accent tree, landscaping and landscape lighting. Additional hardscape elements such as low walls and pilasters are encouraged to enhance the architectural character.



COMMON AREA LANDSCAPE

Common area landscape should strive to minimize turf and maintain the overall landscape integrity of the site. Items such as cul-de-sac's islands and parkways shall be planted with shrubbery or native grasses instead of mowed turf grass. Correct drainage practices are too be addressed throughout all landscape and hardscape areas.

COMMON AREA MATERIALS AND AMENITIES SHOULD INCLUDE:

Hardscape features:

- Enhanced vehicular paving at entries
- Enhanced vehicular paving at special focal or amenity areas
- Cheek walls and handrails at stair locations
- Neighborhood themed mailbox areas
- Enhanced directional and address signage

Landscape Features:

- Hydrozones for planting and irrigation
- Enhance and preserve off-site views with strategic planting design
- Mix evergreen and deciduous tree species
- Plant material that reinforces the neighborhood and community landscape character

SIGNATURE LANDSCAPE FEATURES

The common area landscape offers opportunities for "Signature Landscape Features". These neighborhood open spaces should include design elements such as garden art, thematic site furnishings shade structures, arbors, trellises or passive activity areas. Landscape and safety lighting should be provided to enhance the nighttime use aesthetics of these features.



4.7 FENCE AND WALLS

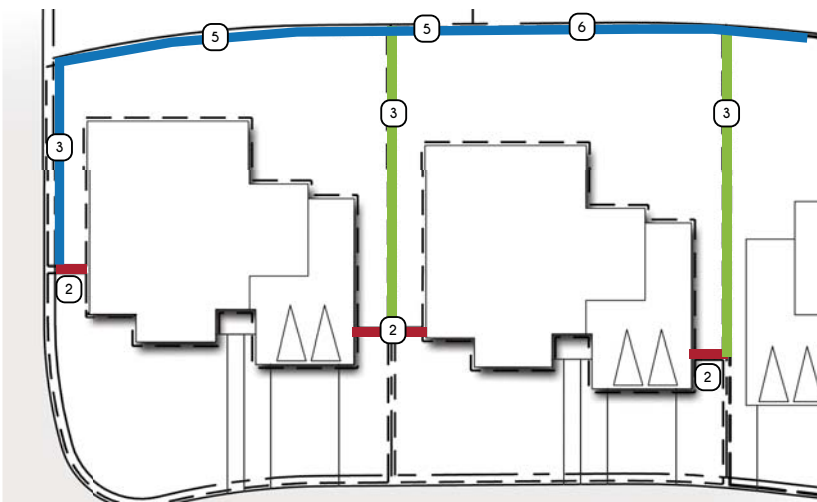
Fences and walls can be an important design attribute in the overall identity of a neighborhood. Architectural wall massings shall be enhanced and articulated along streetscenes and areas exposed to open or common spaces. Wall design and placement should be done in an organic manner reflecting the use of space and its relationship to the home and its surroundings. Organic wall design includes variations of in wall height, setback placement and detailing that reflects the style and character of the architecture. Wall materials shall provide color, texture and character to elevations and the streetscene. The Fence/Wall Matrix identifies wall materials appropriate to specific situations. A unifying front wall material is to be used to create consistency on a single streetscene.

- Materials, details and colors of walls, fences and gates, regardless of placement or purpose, shall be compatible (match or compliment) with the adjacent architecture.
- All Walls along a single streetscene, the same or opposite side of the street, shall have a unifying material connection from lot to lot in order to promote the overall theme of the neighborhood.
- Within cluster neighborhoods, if wall solutions are applied for privacy, variation in alignment and height is required.



Fence/Wall Criteria

Builder Products	Cluster, Bungalow, Country Manor, Estates						
Symbol	1	2	3	4	5	6	7
Location	Private Court	Front Yard	Side Yard Internal	Side Yard Exposed	Rear Yard Internal	Rear Yard	Rear Yard
Exposure							
Common areas	•	---	---	•	---	•	---
Street	•	•	---	•	---	•	•
Internal paseo	•	---	---	•	---	•	---
Alley - auto court	---	---	---	•	---	•	---
Private yard	---	---	•	---	•	---	---
Wall / Fence Type							
Walls - 42" maximum height	•	---	---	---	---	---	---
Walls - 6' maximum height	---	•	•	•	•	•	---
Tubular metal fencing - 6' maximum height	---	---	---	•	---	---	---
Gates - 42" maximum height	•	---	---	---	---	---	---
Gates - 6' maximum height	---	•	---	•	---	---	---
Tubular metal fencing - 42" maximum height	---	---	---	---	---	---	•
Materials							
Masonry wall	•	•	•	•	•	• #	---
Tubular metal fence on 2 courses of masonry	---	---	+	• #	---	• #	•
Vinyl fence	---	---	•	•	---	---	---
Tubular gate	•	•	---	---	---	---	---
Wood gate	•	•	---	•	---	---	---
Iron gate	•	•	---	•	---	---	---
Materials, details & colors reflect architecture	•	•	•	•	•	•	---
Unifying material connection along streetscene	•	•	---	•	---	•	---
Property line wall does not retain	---	---	•	•	•	•	•
Retaining walls, including footings, set a minimum of 4' frp, PL	---	---	•	•	•	•	---
Rough grade maintained a minimum of 4' from PL	---	---	•	•	•	•	---
Retaining wall does not exceed 6'	---	---	•	•	•	•	---
Sub-drain system provided for retaining walls per Soils Engineer's recommendations	---	---	•	•	•	•	---



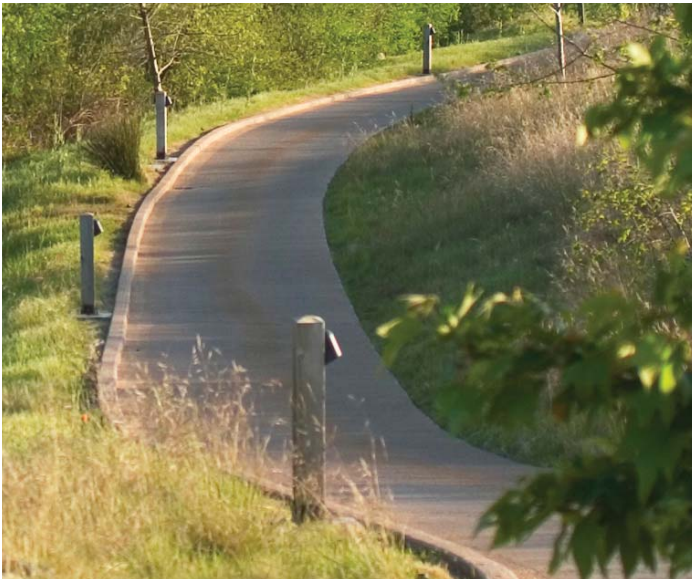
- Minimum requirement
- + 8' Linear portion along side PL where rear view conditions occur
- Not applicable
- # May be built by Master Developer. Refer to DOS exhibits

Fence / Wall Diagram

4.8 SITE FURNISHINGS

Site Furnishings further reinforce the overall identity of a neighborhood through material selection, fixture design, and color scheme.

Light fixtures, street furniture, benches, trail markers, etc., should incorporate natural materials/finishes where possible. Lighting to be directed downward and shielded so as to prevent lighting spillage outside of intended focus. Materials should be selected for their durability and longevity.



CHAPTER 5

IMPLEMENTATION

CHAPTER 5 - IMPLEMENTATION

5.1 OVERVIEW

The Rancho Murieta North Design Guidelines establish regulations and guidelines that will implement the vision of new development. The Design Guidelines are a tool that will be utilized by the Rancho Murieta North Home Owner's Association (RMN). All future development projects within Rancho Murieta North are required to be consistent with these Design Guidelines. New development projects shall be reviewed by the RMN Board of Directors for consistency with the Design Guidelines. The Board of Directors, via a majority vote, shall move to either accept, accept with conditions, or deny any and all applications for elevations, floor plans and landscape plans, and forward their recommendations to the county.

Items required for submittal to the Board of Directors include, but are not limited to the following list below. This is inclusive of both model complexes and individual custom lots. Five (5) sets are required in a minimum size of 11x17.

- Color streetscape and/or front elevation(s)
- Floor plans
- Front, side and rear elevations
- Site plan/plot plan showing setbacks and dimensions
- Color & materials book or board
- Landscape plans for areas in the public view (such as front and side yards)
- Phasing plan for multi-phased development projects
- slopes, parking space width, pathway width, pedestrian ramps, curb ramps, handrails, signs, detectable warnings or speed limit signs or equivalent)
- Show an accessible path of travel from the sales office to the accessible restroom, if not within the sales office model (showing same as above)
- Show entrances, exits, and walkways to all the models within the complex
- Show existing and proposed fencing (trap fencing)
- Show location of any electrical transformers, fire hydrants, etc.
- Show location of the separate and individual utility connections to each model home.
- Show location of any protected oak trees
- Provide a vicinity map
- Irrigation and Planting Plan
- Floor Plan of sales office, identifying:
 - Room uses; Doors: size, swing of doors, landings and thresholds; Signage: tactile exit signs, entrance sign to sales office, any accessibility signs for accessible elements; Floor surfaces shall be slip-resistant; Circulation within the sales office and associated rooms
- Electrical plan for sales office complying with current T-24 energy electrical efficiency standards
- Floor Plan and signage of accessible restroom, if restroom is located within the models.

ADDITIONAL REQUIREMENTS FOR MODEL HOME COMPLEXES

Site Plans shall indicate the following:

- Drawn to an appropriate scale (no smaller than 1" = 20')
- Name of Subdivision and street names
- The location and lots used for the model home complex (Indicate where the sales office is located)
- Locate the placement of all models on each lot, indicating single or two story dwellings
- Dimensions of all property lines with a north arrow
- Distances to all property lines and other structures (accessory structures require separate permit)
- Location of all easements and required setbacks
- Parking layout. If parking is on the street, show where accessible spaces can be accommodated
- Show location of accessible restroom, if not within the sales office. (Must be within 200' of sales office)
- Show an accessible path of travel from accessible parking space to and into the sales office (Show all slopes, cross-

Should any deviation occur from the plans approved by the RMN Board, applicant shall prepare a revised submittal to the Board for review.

